

FIRST CONGREGATIONAL CHURCH

1511 CHURCH STREET
WAUWATOSA, WI 53213



PERSPECTIVE USED TO CONVEY GENERAL LOOK OF THE DESIGN.
SEE SUBSEQUENT DRAWINGS FOR DETAILS AND DIMENSIONS.

CONTACT INFORMATION

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FIRST CONGREGATIONAL CHURCH
1511 CHURCH STREET
WAUWATOSA, WI 53213

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ABBREVIATIONS

# & @	Pound OR Number And At
ACT	Acoustic Ceiling Tile
AD	Area Drain
ALUM	Aluminum
ANOD	Anodized
APPROX	Approximately
B	Bank Equipment Supplier
BLKG	Blocking
BLKHD	Bulkhead
BRG	Bearing
BSMT	Basement
BT	Base Tile
BYND	Beyond
BO	Bottom Of
BOT	Bottom
C	Cabinet
CIP	Cast In Place
CHNL	Channel
CJ	Control Joint
CL	Closet
CLG	Ceiling
CLR	Clear
CM	Construction Manager
CHU	Concrete Masonry Unit
COL	Column
COMPR	Compressible
CONC	Concrete
CONC BLK	Concrete Block
CONT	Continuous
CONTR	Contractor
CPT	Carpet
CRS	Course
CT	Ceramic Tile
CTB	Ceramic Tile Base
CTYD	Courtyard

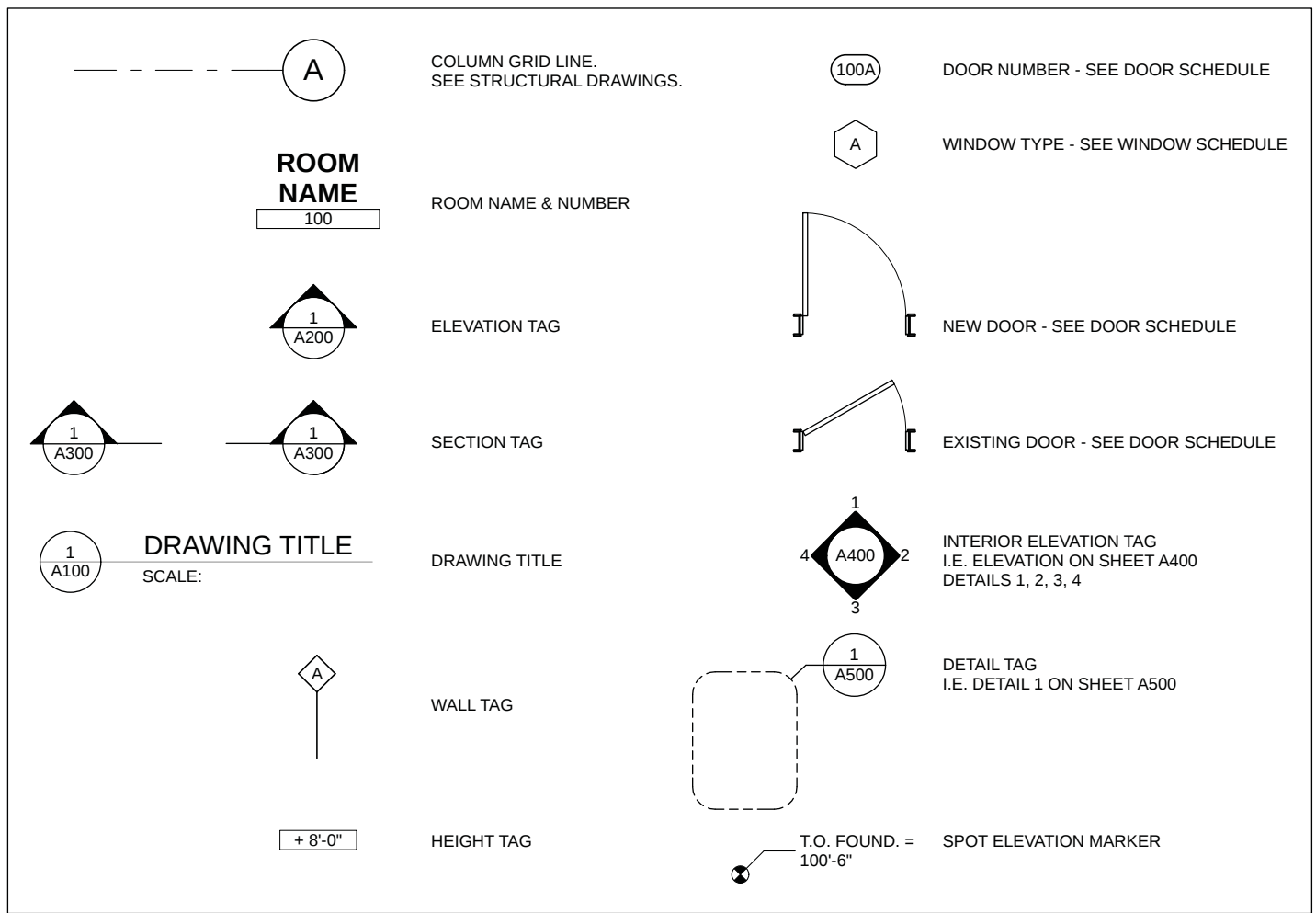
DBL	Double
DEMO	Demolish or Demolition
DIA	Diameter
DIMS	Dimensions
DISP	Dispenser
DN	Down
DR	Door
DRWR	Drawer
DS	Downspout
DTL	Detail
DW	Dishwasher
DWG	Drawing
EA	Each
EIPS	Exterior Insulation Finish System
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPDM	Ethylene Propylene Diene M-Class (Roofing)
EQ	Equal
ETR	Existing To Remain
EXP JT	Expansion Joint
EXT	Exterior
FD	Floor Drain or Fire Department
FE	Fire Extinguisher
FEC	Fire Extinguisher Cabinet
FIN FLR	Finished Floor
FIXT	Fixture
FLR	Floor
FLSHG	Flashing
FLM	Filled Metal
FO	Face Of
FT	Foot
FTG	Footing
FND	Foundation

GA	Gauge
GALV	Galvanized
GB	Grab Bar
GWB	Gypsum Wall Board
H	Hollow Core
HDWD	Hardwood
HDR	Header
H	High
HM	Hollow Metal
HORIZ	Horizontal
HP	High Point
HR	Hour
HT	Height
HRDBD	Hardboard
HVAC	Heating, Ventilating, And Air Conditioning
INO	Not In Contract
NO	Number
NOM	Nominal
OC	On Center
OH	Opposite Hand
OPNG	Opening
OZ	Ounce
P	Pre-Cast Concrete
PCC	Plumbing
PLUMB	Plastic Laminate
PLUM	Plumbing
PLYWD	Plywood
PESH	Pole & Shelves / Shelf
PREFIN	Prefinished
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
RB	Rubber Base
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Root Drain
REF	Refrigerator

MAX	Maximum
MFR	Manufacturer
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MICRO	Microwave
MIN	Minimum
MISC	Miscellaneous
MRODW	Moisture Resistant Dry Wall
MROWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
MTR	Mortar
MTRL	Material

REIN	Reinforced
REQD	Required
RM	Room
S	Sheeting
SHFTG	Sheet Flooring
SE	Similar
SM	Similar
SPEC	Specified OR Specification
SPK	Sprinkler or Speaker
SS	Stainless Steel
ST	Stain
STC	Sound Transmission Coefficient
STL	Steel
STRUCT	Structure or Structural
T	Tongue And Groove
TELE	Telephone
TLT	Toilet
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
TD	Telephone/Data
TYP	Typical
U	Unless Noted Otherwise
UNO	Under
US	Under
VB	Vinyl Base
VCT	Vinyl Composition Tile
VERT	Vertical
VIF	Verify In Field
VIP	Vision Panel
VP	Vinyl Wall Covering
W	With
WD	Wood
WDW	Window

SYMBOL KEY



SHEET INDEX

ID	NAME
G100	COVER SHEET
AD100	DEMOLITION PLAN
A100	FLOOR PLAN
A300	OVERVIEW AND SECTION



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DRAWING ISSUE DATE

PRICING SET 05.10.17

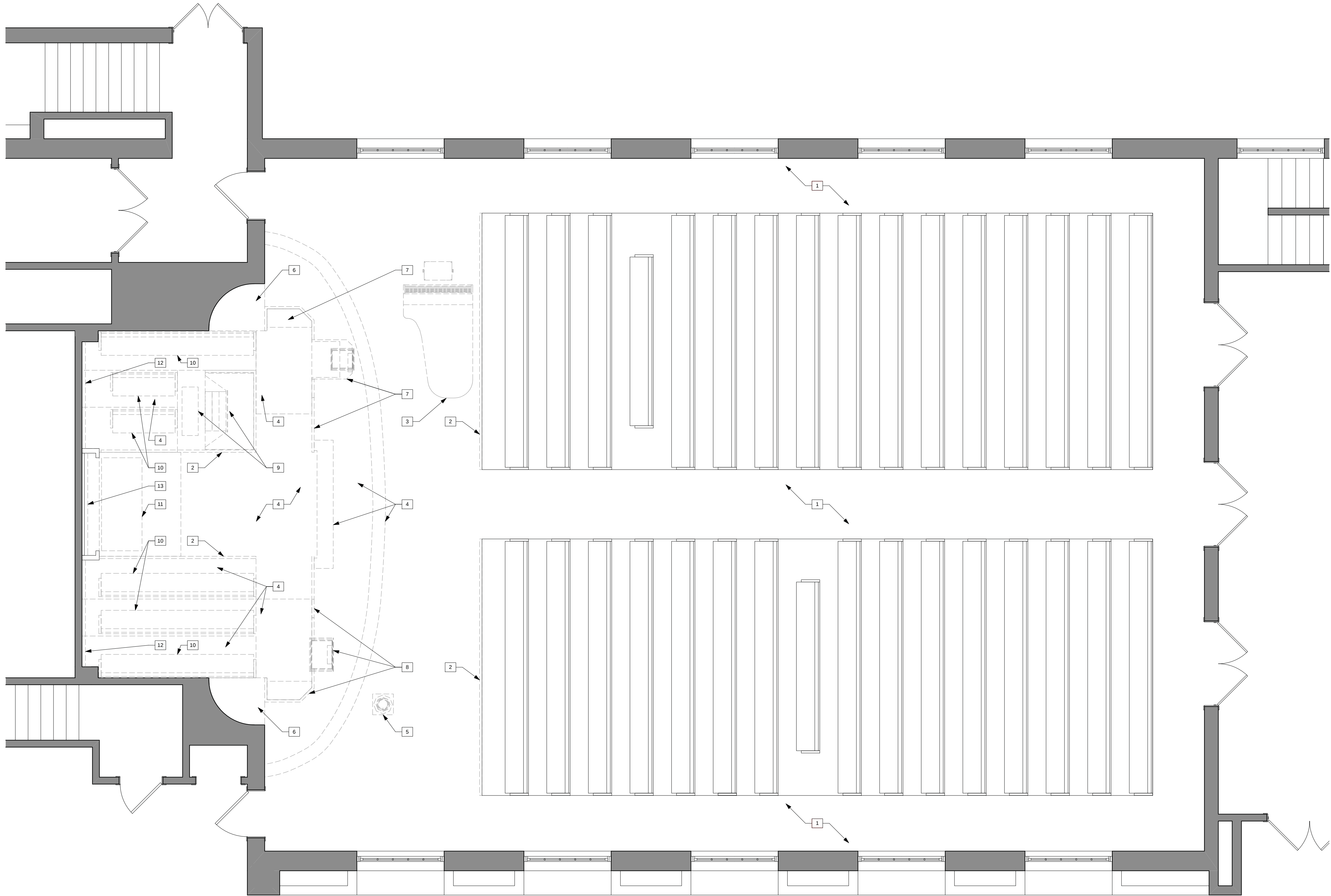
PROJECT # 17.08

COVER SHEET

G100

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NOT FOR CONSTRUCTION



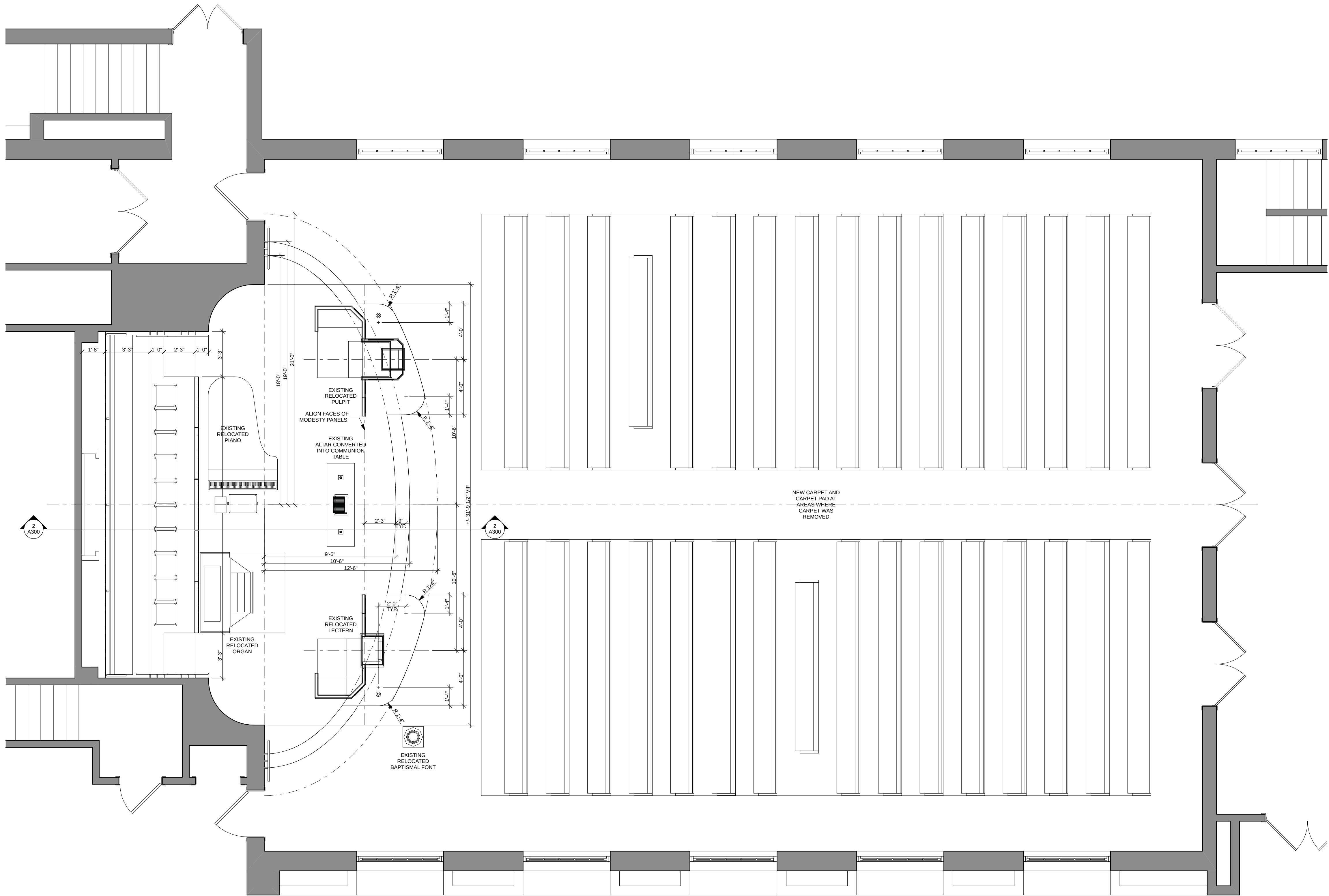
  **DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN KEY NOTES

1. EXISTING CARPET FLOOR COVERING AND REMAINING ADHESIVE TO BE REMOVED. PREP EXISTING SUB-FLOOR FOR ACCEPTANCE OF NEW FLOORING MATERIAL.
2. EXISTING MODESTY WALL PANELS TO BE REMOVED.
3. EXISTING PIANO TO BE REMOVED AND RELOCATED PER NEW CHANCEL LAYOUT.
4. EXISTING WOOD PLATFORM STRUCTURE TO BE REMOVED.
5. EXISTING BAPTISMAL FONT TO BE REMOVED AND RELOCATED PER NEW CHANCEL LAYOUT.
6. EXISTING HALF-HEIGHT WALL STRUCTURE AND WOOD TRIM CAP TO BE REMOVED.
7. EXISTING PULPIT, PASTORAL BENCH, AND SURROUNDING MODESTY WALL PANELS TO BE REMOVED AND SALVAGED PER NEW CHANCEL LAYOUT.
8. EXISTING LECTERN, PASTORAL BENCH, AND SURROUNDING MODESTY WALL PANELS TO BE REMOVED AND SALVAGED PER NEW CHANCEL LAYOUT.
9. EXISTING ORGAN TO BE REMOVED AND RELOCATED PER NEW CHANCEL LAYOUT.
10. EXISTING WOOD CHOIR PEWS TO BE REMOVED AND SALVAGED PER NEW CHANCEL LAYOUT.
11. EXISTING ALTAR TO BE REMOVED AND SALVAGED PER NEW CHANCEL LAYOUT.
12. EXISTING ACOUSTICAL FABRIC AND WOOD TRIM TO BE REMOVED.
13. EXISTING FABRIC CURTAIN TO BE REMOVED.

DEMOLITION - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK.
3. REMOVE ENTIRE WALL ASSEMBLY INDICATED TO BE DEMOLISHED, INCLUDING CONCEALED ELEMENTS WITHIN THE PARTITIONS AND ABOVE CEILING CONSTRUCTION (UNOS).
4. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND / OR NEW CONSTRUCTION OPERATIONS. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
5. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
6. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
7. UPON REMOVAL OF FINISH MATERIALS INDICATED, PREPARE SUBSTRATE TO RECEIVE NEW FINISH. REFER ALSO TO ROOM FINISH SCHEDULE FOR NEW MATERIALS. REPAIR ANY EXISTING DAMAGE OR DAMAGE ARISING FROM DEMOLITION OPERATIONS TO MATCH EXISTING AND AS NEEDED FOR INSTALLATION OF NEW FINISHES.
8. IN WALLS TO BE REFINISHED, REMOVE EXISTING MISCELLANEOUS ACCESSORIES TO FACILITATE THE INSTALLATION OF NEW FINISHES. PATCH, REPAIR, AND PREP WALLS TO RECEIVE NEW FINISHES. ITEMS REMOVED TO BE SALVAGED AND GIVEN BACK TO OWNER.
9. REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, PLUMBING LINES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT. DEMOLISHED LINES ARE TO BE BROUGHT BACK TO PANELS, RISERS, ETC. AND DISCONNECTED OR CAPPED.
10. SALVAGE ALL DEMOLISHED ITEMS OF HISTORICAL OR ARCHITECTURAL SIGNIFICANCE, I.E. DOORS, WINDOWS, TRIM, CASING, OLD GROWTH FRAMING & DECKING, FLOORING, ETC.



FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

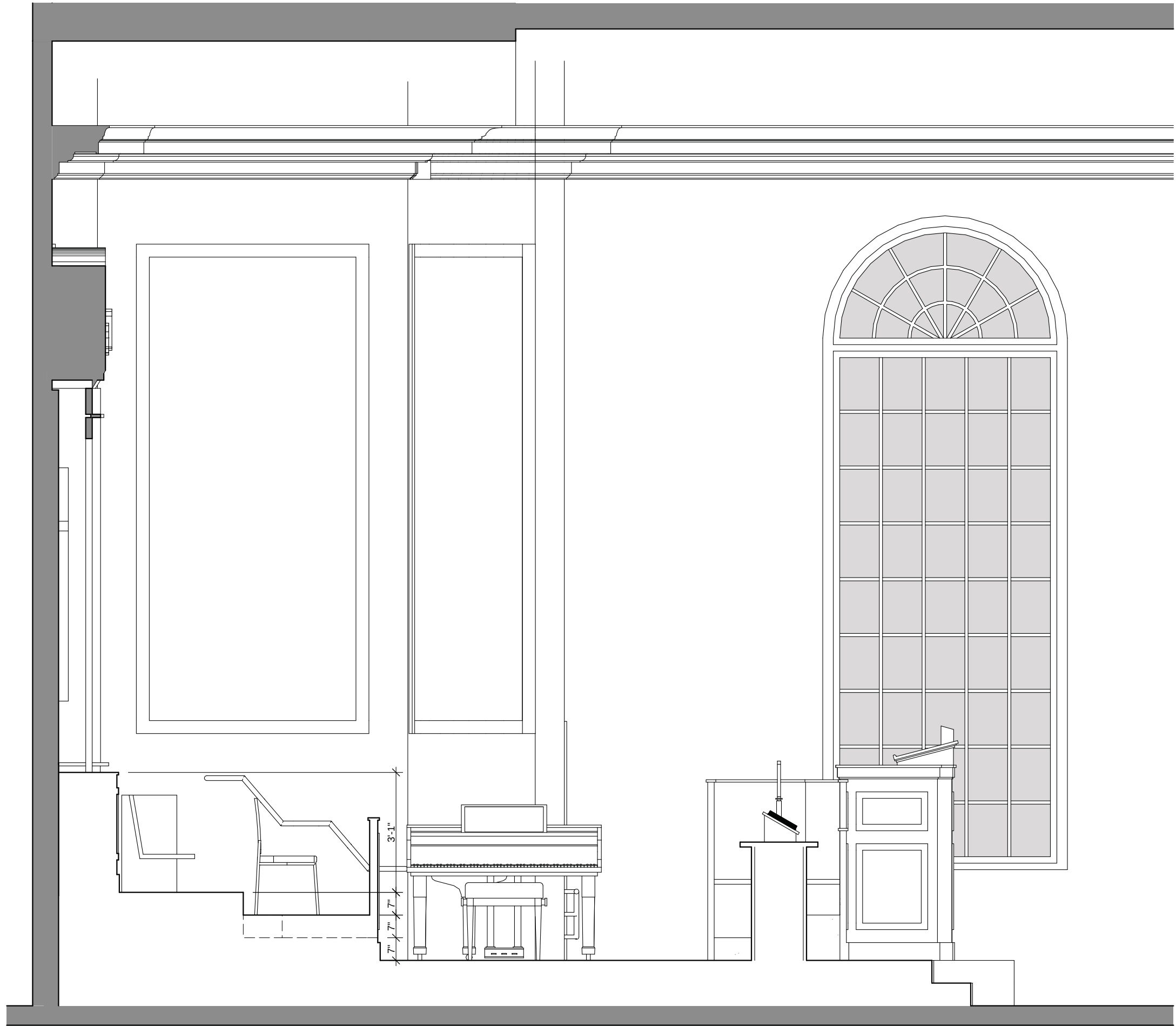
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- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE, AND ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.

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1511 CHURCH STREET
WAUWATOSA, WI 53213



1
A300
CHANCEL OVERVIEW - TYPICAL SUNDAY
SCALE: 1/8" = 1'-0"



2
A300
CHANCEL SECTION LOOKING NORTH
SCALE: 3/8" = 1'-0"

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